



**PLANNING COMMISSION
STAFF REPORT**

July 18, 2024

AGENDA ITEM: Planning File No. MAJ-23-0004: A final review of a multifamily residential development consisting of three units located at 411 Teller Street.

LOCATION: 411 Teller Street / LOTS 17, 18, & 19, BLOCK 19, FRISCO TOWN SUB

ZONING: Residential High Density (RH)

APPLICANT: Whitney Young, Neu Designs

OWNER: Whitney Young

TOWN STAFF: Katie Kent, Community Development Director
Kris Valdez, Principal Planner

PROJECT DESCRIPTION

Whitney Young with Neu Designs, herein referred to as the “Applicant,” is proposing a new multifamily development at 411 Teller Street, herein referred to as the “Property.” The proposal includes three units between two buildings, one of which will contain two units and the other a detached structure with one unit, herein referred to as the “Application”. The Applicant is planning on subdividing the structures into townhomes. If approved, the new address would be 413 Teller Street for the detached townhome and 450 and 452 Teller Aly for the duplex.

Please note that the text in italics below are direct quotes from the Frisco Community Plan or the Frisco Unified Development Code.

BACKGROUND

The Property is located south of Teller Street Alley and north of Teller Street.

Please see Exhibit A: Vicinity Map below for a graphical location of the Property. The Property is zoned Residential High (RH) Density. The adjacent properties are also zoned RH. The 4th & Teller Townhomes are to the west, and Granite Point Townhomes are to the east. The existing site conditions include a one-story single-family residence (SFR) and two sheds. The existing SFR was originally constructed in 1965, according to the Summit County Assessor records, and an addition was added in 1995, which included living facilities.

The Application has undergone a comprehensive review process, receiving sketch plan-level comments from the Planning Commission at two separate meetings: the first on June 15, 2023, and again on October 5, 2023. The Planning Commission reviewed the proposal, providing feedback on various aspects of the Application and ensuring the Application's adherence to Frisco Unified Development Code (Code) standards.

At the June 15, 2023, meeting, the Planning Commissioners, herein referred to as "Commissioners," had the following comments for the Applicant:

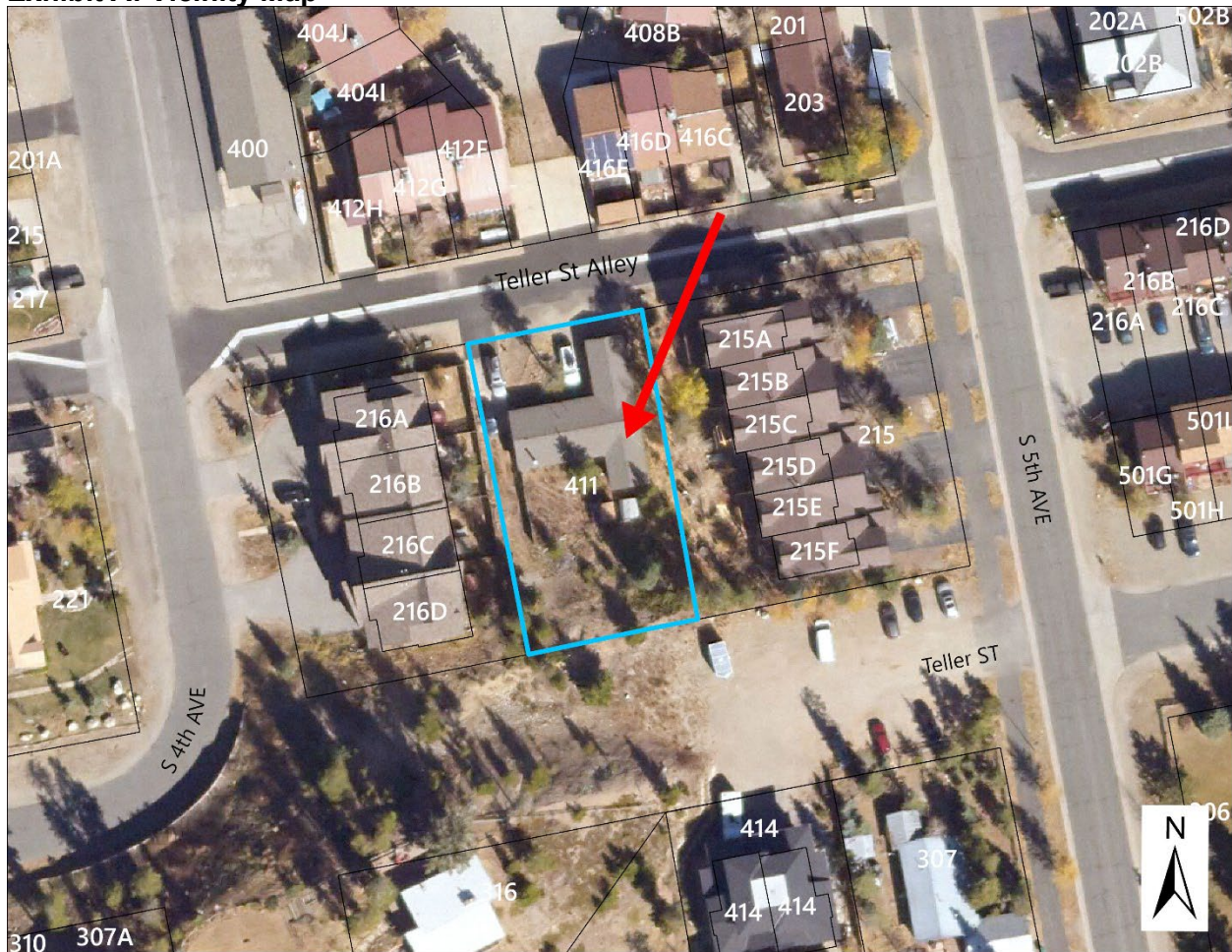
- Commissioners noted that the project must comply with the Code, including but not limited to parking, turning radii, and steep slope disturbance.
- Commissioners reiterated that a color/material board shall be submitted with the full site plan Application.
- Commissioners stated that at the time of full site plan submittal, the Applicant should justify how proposed bulk plane encroachments provide substantial architectural relief.
- Commissioners requested that at full site plan submittal, they see the effects of snow removal from decks.
- At the full site plan review, Commissioners requested further information from staff regarding whether unimproved access needs to be improved.

On October 5, 2023, the Commissioners had the following comments for the Applicant:

- Commissioners noted that they appreciate the Applicant opening the space up a bit, reducing the number of units.
- Commissioners look forward to seeing improvements to the design of the alley.
- Commissioners gave mixed feedback regarding whether the bulk plane encroachments meet the Code requirements.
- Commissioners noted that the Applicant must meet all the façade standards.
- Commissioners agreed that parking is functional and in compliance with the Code.

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Exhibit A: Vicinity Map



FINAL MAJOR SITE PLAN REVIEW

A Major Site Plan Application requires the Planning Commission to review, discuss it, and provide a decision. The proposal is reviewed in detail to ensure conformance with the Frisco Community Plan and compliance with the Code. The Planning Commission shall review the Major Site Plan Application and approve, approve with conditions, or deny the Major Site Plan in accordance with Section 180-2.3.7 and the approval criteria in Subsection 180-2.5.2.E. If the Application is approved or approved with conditions, the Applicant must submit a site plan addressing the conditions, if needed, within 60 days of approval or conditional approval by the Planning Commission.

ANALYSIS – FRISCO COMMUNITY PLAN

The following Frisco Community Plan elements, specifically the bolded text, apply to the review of the proposed development.

Vision and Guiding Principles (excerpts)

The vision and guiding principles are a statement of community values. Together, they reflect characteristics that residents value about Frisco today, and the kind of community that residents would like to see Frisco become as it continues to grow and evolve over time. The vision and

guiding principles serve as an organizing framework for subsequent chapters and policy guidance in the Community Plan, as well as for the Town Council's Strategic Plan.

Guiding Principle 1: Inclusive Community

Frisco cares about our neighbors, visitors, and the whole of our community. We are an inclusive community that welcomes people of all backgrounds and income levels. We support a balance of housing options to create opportunities for a diverse population to reside here. Our history is integral to our identity and it is also a guiding principle for our future. As the Town grows and changes, we need to be rooted in the values of our past. The Ten Mile Range mountain backdrop, historic structures, vibrant neighborhoods, and a lively Main Street characterize Frisco along with the friendly people and welcoming vibe. As Frisco grows, this character and identity should be preserved and enhanced throughout Town.

Goal 1.1: Protect the character and livability of Frisco's residential neighborhoods

- **Policy 1.1A** *Ensure new housing complements adjacent properties and neighborhoods through appropriate mass, scale, and design. See page 68 for Area Specific Policies/Design Principles to help encourage compatible neighborhood development.*
- **Policy 1.1B** *Invest in targeted improvements (e.g., trail connections, bike paths, sidewalks, and drainage improvements) that enhance the safety and quality of life of residents.*
- **Policy 1.1C** *Strive to create an appropriate balance of full-time residents, second homes, and short-term rentals to maintain a diverse and vibrant community.*

Guiding Principle 2: Thriving Economy

The Frisco economy is built upon a unique balance of tourism and its role as a commercial-service hub for the region. Tourism, driven by recreational opportunities, and the small, mountain town appeal of Main Street, creates jobs and revenue. Locals and visitors utilize the large retailers, grocery stores, and services located along Summit Boulevard, and support the small businesses on Main Street. While the Frisco economy has seen steady growth in the past decade, diversification of the economy is important. More year-round opportunities will provide stability through the seasons and economic downturns. The Town should focus on small, incremental changes that preserve the town character and a healthy small business community that attracts residents and visitors.

Goal 2.1: Maintain a diverse and strong economy

- **Policy 2.1A** *Continue to attract and retain businesses that support and enhance Frisco's tourism revenues, while also seeking to build upon entrepreneurship and new or emerging niches.*
- **Policy 2.1B** *Provide opportunities for a balanced mix of housing and services to support local businesses, employees, residents and visitors.*
- **Policy 2.1C** *As development and infill occurs, ensure that the Town's overall mix of land uses remains aligned with community goals.*
- **Policy 2.1D** *Participate in regional and state economic development efforts that support a diverse economy.*
- **Policy 2.1E** *Support the creation of home-based businesses and remote workers.*

The Property is located within an area adjacent to a mix of residential densities and different building types, designs, and materials. Each adjacent property is zoned RH, which allows for high-density development. The Application, as proposed, complements adjacent properties and neighborhoods through the appropriate mass, scale, and design, which is supported by Policy 1.1A. The Application supports the construction of new residential units that add variety to the sizes and types of homes in this residential neighborhood. The Application would provide an appropriate balance of full-time residents, second homes, and short-term rentals to maintain a diverse and vibrant community in support of Policy 1.1C. However, should the Applicant decide to participate in a short-term rental in the future, the Applicant is required to obtain a short-term rental license.

Policy 2.1B encourages a mix of housing to support local businesses, employees, residents, and visitors. The Application proposes a duplex and one detached townhome, providing a variety of housing options on the Property and the neighborhood. The Application involves infill development and is in alignment with community goals by complying with the existing zoning regulations.

The Application, as proposed, with the three residential dwelling units on the Property, is permitted in the RH District and is within the permitted density. The Application is in general conformance with the principles, goals, and policies of the Frisco Community Plan.

ANALYSIS – RESIDENTIAL HIGH DENSITY [§180-3.7]

The requirements of the Residential High-Density District are applicable to the review of the proposed multifamily project as follows:

Purpose: The purpose of the RH District is as follows:

“To allow for high density residential development that is in close proximity to commercial activity, and to provide for a broad mix in the housing type and cost for all residents.”

Minimum Lot Area: The minimum lot area in the RH District is 10,500 square feet or 0.24 acres. The subject lot is 10,454 square feet. The lot is existing and nonconforming, and no changes are being proposed at this time. Therefore, the lot size meets this standard.

Minimum Lot Frontage: The minimum lot frontage in the RH District is sixty feet. Lot frontage is defined in the Code as:

That portion of a lot fronting upon and providing rights of access to a dedicated street. Lot frontage is measured continuously along only one street.

The Property is approximately 75 feet from east to west and 140 feet from north to south. If the Application is approved, the Property will have a designated frontage from Teller Street. No changes to the existing lot frontage are proposed. The Application meets this standard.

Setbacks: Pursuant to §180-9, Definitions, Frisco Town Code:

“Lot Line, Front – The property line separating a lot from the street except, where a lot is bordered by more than one street, the property owner shall determine which side of the lot having street frontage is to be considered the front for setback

purposes. Each lot proposed for development shall have at least one property line designated as the front lot line.”

The designated front lot line is the south lot line that fronts Teller Street. The Application shows a boulder retaining wall around the window wells on the unit to the south that is encroaching into the side yard setback. Retaining walls are exempt from setback requirements. Therefore, the Application meets the standard. An Improvement Location Certificate (ILC) will be required during construction to ensure the residential units, including roof eaves, do not encroach into the setback.

The minimum required setbacks and proposed setbacks for this Application are as follows:

	Minimum Setback	Proposed Setback
Front Yard	20 feet	20 feet
Side Yard	10 feet	10 feet
Rear Yard	10 feet	10 feet

Maximum Lot Coverage: Per the Code, lot coverage shall not exceed 55% of the total lot area in the RH District. The allowable lot coverage for this Property is 5,750 square feet based on the size of the Property. The proposed total lot coverage in the Application is 5,749 square feet based on the analysis provided below. The lot coverage is 55%, meeting the requirements.

	Coverage (square feet)
Duplex Footprint	3,080
Single Unit Footprint	1,800
North Concrete Driveway	341
South Concrete Driveway	491
Total	5,712

Per the lot coverage definition in the Code, lot coverage is defined as

“The percentage of total lot area used for parking, roads, drives; and above or below-grade structures or improvements, including but not limited to hot tubs, decks, patios, and sheds. The following elements are excluded from the calculation of lot coverage: two feet of roof eaves as measured perpendicular from the exterior building wall; ground-mounted solar energy facilities as an accessory use; 100 percent of publicly used nonvehicular pathways and three feet of the width of privately used non-vehicular pathways; and approved dumpster enclosures that provide adequate space for recycling containers.”

Based on this definition, the Applicant did not include the 3-foot wide concrete and pervious paths in their calculation since per the definition, three feet of width privately used non-vehicular pathways are excluded from lot coverage. Therefore, the Application, as proposed, meets this standard.

Maximum Building Height: The maximum building height is 35 feet in the RH Zone District. The Applicant is proposing a maximum building height of 34.75 feet, meeting the standard. A roof ILC will be required during construction to ensure that the building does not exceed the maximum building height.

Density: The permitted density in the RH Zone District is sixteen (16) dwelling units per developable acre. The 10,454-square-foot Property (0.24 acres) allows for up to four (4) units of density. The Applicant is proposing three (3) units of density, meeting this standard.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: The RH Zone District permits a variety of residential uses, including multi-unit dwellings and townhomes. The Application meets this standard.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

Buildings Occupying More Than One Lot (§180-6.3.2): Lots 17-19, Block 19, Frisco Town Subdivision are one (1) development site for the purposes of analyzing development standards. Since there is no existing townhome plat, a re-plat will be required to formally consolidate Lots 17-19 either by vacating the lot lines or through a townhome plat. A condition has been added that requires a re-plat prior to the Certificate of Occupancy of the Property.

Development On Steep Slopes (§180-6.5.1): Per the Code, any portion of a site with a slope of 15% or greater for a distance of 25 contiguous feet shall qualify as a steep slope. On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes. Additionally, net site disturbance shall not exceed 15% of the total area of slopes greater than 30%. The Property contains steep slopes and, therefore, must meet these standards.

The Application shows that there are 1,979 square feet of site area that consists of slopes between 15% and 30%. Based on the Code standards, the Applicant can disturb up to 989.5 square feet of that area. The Applicant is proposing to disturb 989.5 square feet of area with slopes between 15% and 30%, meeting this standard. Additionally, the Applicant shows that 485 square feet of site area consists of slopes greater than 30%. Based on the Code standards, the Applicant can disturb up to 72.75 square feet of that area. The Applicant is proposing to disturb 72.0 square feet of area with slopes greater than 30%, meeting the standards.

	Steep Slopes 15-30%	Steep Slopes >30%
Total area	1,979 square feet	485 square feet
Allowable Disturbance (50% of Total Area)	989.5 square feet	72.75 square feet
Proposed Disturbance (15% of Total Area)	988.5 square feet	72.0 square feet

The Town Engineer has reviewed the steep slope disturbance as proposed in the Application. Engineering has provided red lined comments dated 7-2-24 on the plan set. Comments involving the steep slopes on the property include requiring a chain link fence to be installed in concrete to prevent disturbance from encroaching into the steep slope areas where it is not proposed. Staff has suggested a condition that all Engineering comments shall be addressed prior to issuance of a building permit.

Grading Permit (§180-6.5.2): The developer will be subject to the standards regulating grading permits. The Applicant will be required to show grading details and construction management details to ensure that disturbance/grading in the steep slope area does not exceed the limits allowed per the Code. The Applicant is also showing grading within the Town Public Right of Way (ROW). All improvements within the ROW must be approved by the Frisco Public Works Director. A final grading plan will be included with the building permit to ensure compliance with the Code standards.

Drainage Plan (§180-6.6): The Town Engineer reviewed the drainage plan submittal requirements, design standards, and erosion and sediment control as outlined in §180-6.6 of the Code. Steep slope disturbance requires that grading not significantly alter natural drainage patterns, which the Town Engineer also reviewed. Preliminary comments from the Engineer regarding drainage state that the drywells should not extend across the property line and that adjustments/further information is required regarding drainage to the south of the proposed structures. A final drainage plan will be included with the building permit to ensure compliance with the Code standards.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the Frisco Public Works Director must approve the location and design of access points to the road. Multi-family projects shall have a minimum driveway width of nine (9) feet and a maximum width of twenty (20) feet. The width is measured within Town ROW from the ROW line to the edge of the pavement.

The Applicant is proposing two driveways or accesses to the Property. One driveway is proposed on the north side of the Property onto Teller Street Alley, and one driveway is proposed on the south side of the Property onto Teller Street. The Frisco Public Works Director reviewed and approved the access proposed in the Application.

The Applicant is proposing to use Teller Street as an access point to the Property. In this case, the Teller Street ROW is unimproved, and there are no plans for Frisco Public Works to make improvements. Any improvements in the street ROW done by the Applicant will be subject to Public Works Department review and may require the execution of a revocable license agreement or other similar legal agreement between the Town and the Applicant or their designee addressing such improvements, including construction and maintenance responsibilities and costs.

According to the Town of Frisco Minimum Street Design and Access Criteria, alleys may be used for access to an adjacent property subject to the approval of the Public Works Director in accordance with Section VI, Waivers to These Criteria.

Per Summit Fire & EMS, the Applicant is required to provide a road base to support the minimum imposed load. The final construction details will be provided with the building permit.

Non-vehicular Access Requirements (§180-6.11.2):

It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town-wide network of connecting non-vehicular pathways and provide safe access year round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

- A. *All multi-family, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street or road year-round. Developments shall install paved, year round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.*
- B. *Every principal structure shall provide access to adjacent trail systems or public*

open space usable for recreation activities.

- c. *Developments shall integrate pedestrian ways, trails, and/or bicycle paths with similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.*

The Application materials show driveways connecting to the ROW of Teller Street Alley and Teller Street. There are no existing or planned public pathways on these rights-of-way. The Application is meeting these standards.

On-Premise Parking Requirements (§180-6.13.3. D): One (1) parking space is required per bedroom with a maximum of four (4) parking spaces per unit. One (1) visitor parking space is required for five (5) units. The following is a preliminary parking analysis:

Use Type	Parking Standard	# Bedrooms	Required Spaces
Residential	1 per bedroom Maximum of 4 spaces per unit	2, 3-bedroom units and 1, 4- bedroom units	10
Visitor Parking	1 per five units		0
Total Required			10

The duplex units each contain two (2) car garages, exterior parking for three (3) cars, and a 20-foot turning radius based on a Jeep Grand Cherokee. The detached townhome contains a two (2) car garage and exterior parking for two (2) cars. The Application, as proposed, meets the on-premise parking standards.

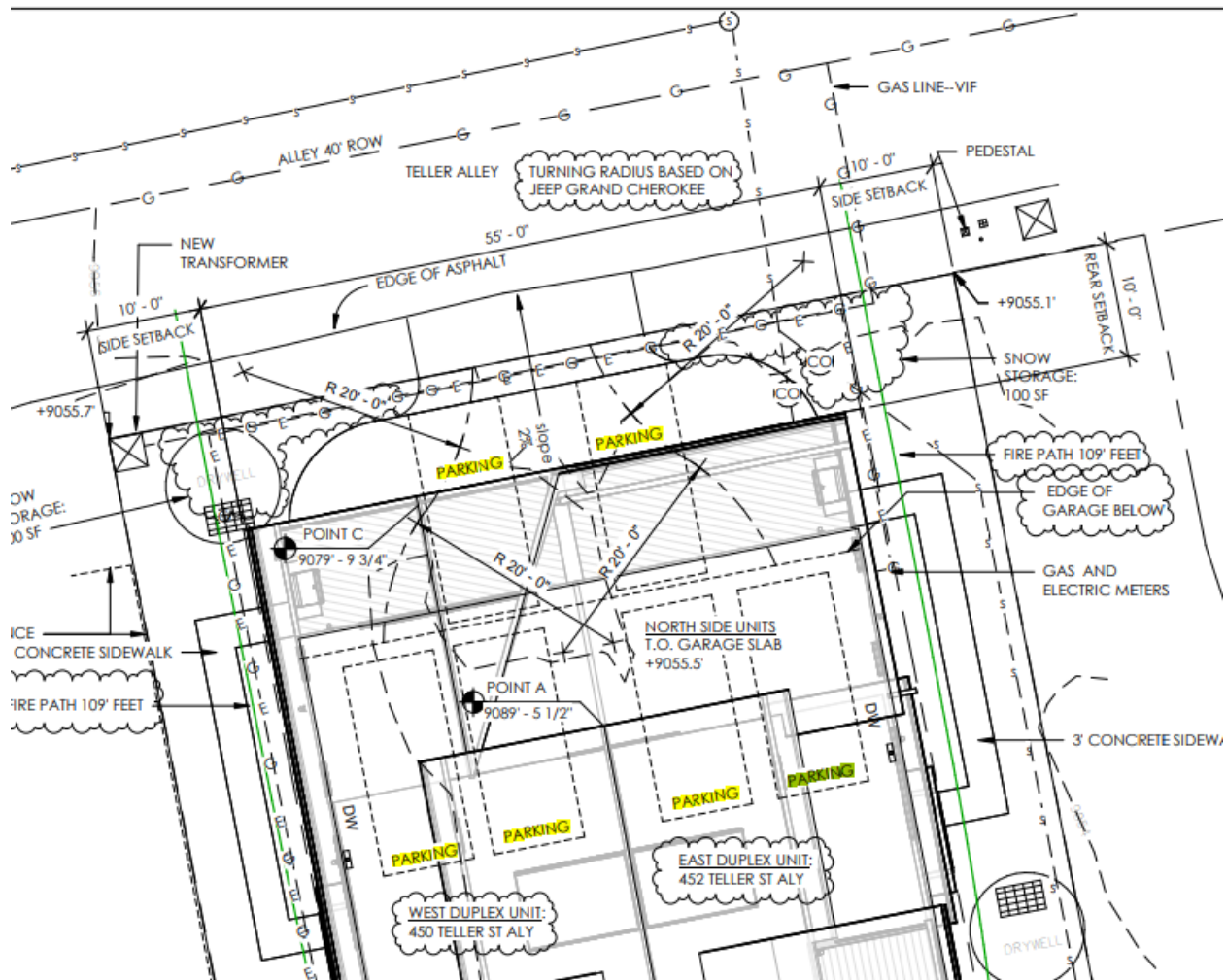
Tandem Parking (§180-6.13.6): For multi-family residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,*
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,*
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,*
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.*

The Applicant is proposing tandem parking for both buildings and has provided a turning radius analysis for one (1) of the parking spaces, shown below.

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Exhibit B: Tandem Parking and Turning Radius



Electric Vehicle Charging Stations: Chapter 65 of the Code of Ordinances of the Town of Frisco concerning Building Construction and Housing Standards, Section C405.10.1, references electric vehicle charging stations for new construction. The property will be required to comply with the requirements outlined in Section C405.10.1 at the time of building permit submittal.

Accessible Parking (§180-6.13.3.H): All facilities, commercial and multi-family projects with seven (7) attached units or more must provide accessible parking. Accessible parking spaces are not required for this Application. The Application meets this standard.

Bicycle Parking (§180-6.13.4): All multi-family residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking. Each proposed dwelling unit has a garage, so bicycle parking is not required for this Application. The Application meets this standard.

Snow Storage Areas (§180-6.13.7): The Code requirements state that “*snow storage shall be provided on premises in the amount of twenty-five percent of paved surface area and any unpaved*”

parking and driveway areas, including uncovered decks. The Applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property.”

Site Plan A1-0 documents snow storage. Snow storage calculations were done based on the former Coade language. Snow storage appears to be in compliance. However, Staff has suggested a special condition requiring snow storage to be verified prior to issuance of a building permit.

Outdoor Lighting (§180-6.16): Outdoor lighting installed for new structures shall be full cut-off fixtures positioned so that there is no direct light emission onto adjacent properties. The Application materials show a full cut-off light fixture for outdoor lighting. However, the lighting site plan in the Application does not show the location of the fixtures, which must be shown on the building permit. A condition has been added to address this concern. With compliance with the condition of approval, the Applicant meets this standard.

Landscaping and Revegetation (§180-6.14): The Application is subject to the landscaping requirements for a residential development. In residential developments, for every 875 square feet of project lot area or fraction thereof, a minimum of one (1) tree must be planted on the site and one (1) shrub shall be required for every 1,500 square feet of lot area. With a lot size of 10,454 square feet, twelve (12) trees and seven (7) shrubs are required.

The landscaping plan shows twelve (12) trees and 48 shrubs being planted. Along with quantities, the proposed plantings are meeting the size and diversity requirements. Therefore, the Application meets this standard.

Refuse Management (§180-6.17): All commercial, mixed-use, and multi-family residential development projects containing five (5) or more units shall utilize a trash enclosure to collect and store refuse and recyclable materials. No trash enclosure is required for this development, so this standard is met in the Application.

Residential Development Standards (§180-6.22): The purpose of the residential development standards is to promote high-quality development while still providing for creative and unique building designs; to establish minimum standards related to scale, mass, architecture, materials, and overall design character of development and provide incentives to help achieve desired attributes; and to preserve established neighborhood scale and character, ensuring that residential areas contribute to the streetscape and are conducive to walking.

The Application shall be held to the following residential development standards:

A. Facade Standards

- 1. Intent. To ensure that the façade design of development is compatible with Frisco’s small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.*

The proposed development includes building designs that are unique to this Application and have similar styling to other buildings in Frisco.

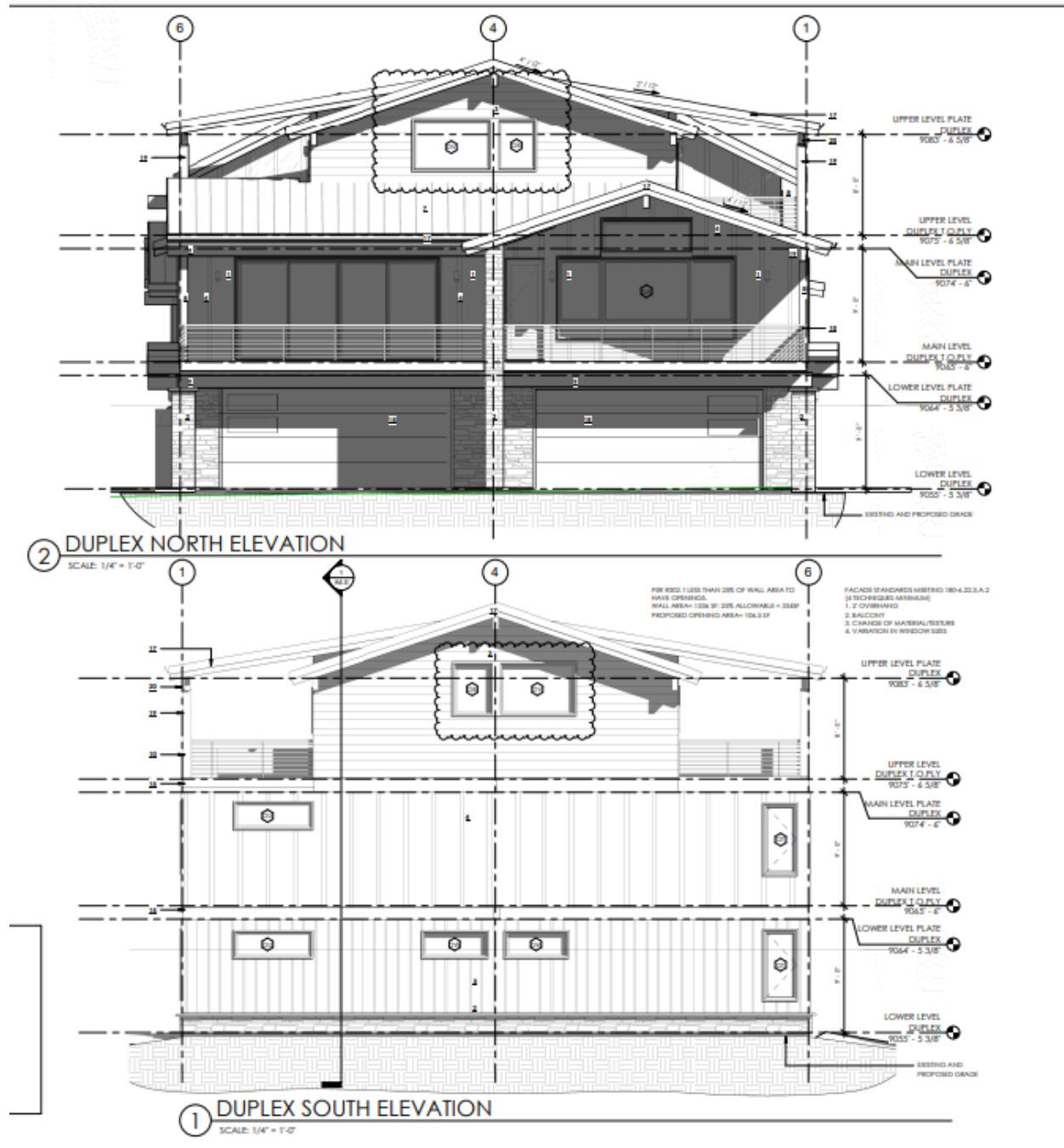
- 2. Building Elements. All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-UU. Each façade shall be articulated through the use of at least four of the following techniques:*

- a. *Deep eaves or overhangs, at least 24 inches in depth;*
- b. *Balconies, porches, or patios;*
- c. *Building elements that provide shelter from natural elements;*
- d. *Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;*
- e. *A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;*
- f. *Variation in roof planes or roof forms, including dormers or gables; or*
- g. *Variation in window sizes and shapes.*

Most facades utilize a variety of building elements, including balconies, changes in materials and texture, variations in window sizes and shapes, and variations in roof forms. At the time of Sketch Plan, the Staff found that two (2) facades did not meet the minimum standards: the duplex south elevation and the single unit north elevation. These facades have been updated in this Application to meet the standard.

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Exhibit C: Updated Duplex North and South Elevations



3. Duplicate Building Design Prohibited

- a. Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property shall not be allowed, with the exception that accessory structures on the same lot or parcel as the primary structure may be similar in design as the primary structure.

- b. Where a project contains two or more buildings or units, not identical units, the building design shall provide architectural relief from the duplication of buildings and units by utilizing a variety of windows, decks, balconies, or exterior facade composition.*

The building design and units are not duplicates of other buildings within a 300-foot radius of the property. Therefore, the Application has met this standard as proposed.

C. Roof Standards

- 1. Intent. To ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements and the use of dormers and breaks in ridgelines.*

The Application materials show pitched roof elements and a variation in roof materials. Therefore, the Application has met this standard as proposed.

- 2. Roof Pitch*
 - a. Pitched roofs, or flat roofs augmented with pitched roof elements, are required.*
 - b. A minimum roof pitch of 6/12 is encouraged.*
 - c. Mansard roofs are prohibited.*

The proposed building roofs meet the requirements by having a combination of 2:12, 4:12, and 6:12 roof pitches.

- 3. Roof Design. Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies or entryways.*

The proposed roof forms generally deposit snow away from parking areas and walkways; however, one of the pitches on the detached townhome appears to deposit snow onto the rooftop deck. The Town of Frisco Building Department will evaluate the need for snow guards, snow clips, snow fences, and other similar rooftop snow retention devices as part of the building permit Application review process. Therefore, the Application has met this standard when it is brought into compliance as part of the building permit review.

- 4. Roof Materials*
 - a. If metal roofs are used they shall be surfaced with a low gloss finish, matte finish, or other finish proven to fade and not be reflective.*
 - b. Metal roofs, asphalt and fiberglass shingles are permitted provided that they heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.*
 - c. Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.*
 - d. Bright colored roofs that exceed a chroma of four on the Munsell Color chart are prohibited.*

The Application materials show grey asphalt shingles and grey metal being used as roof materials. The Application meets this standard.

D. Building Material Standards

1. *Intent. To ensure that building materials are compatible and complementary to existing historic and contributing buildings in the area, using a combination of mainly natural materials.*
2. *Primary Materials*
 - a. *Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.*
 - b. *Other materials that imitate natural materials are also acceptable provided their texture, shape, and size are substantially similar to the natural materials they are imitating, and are not obviously artificial materials.*
 - c. *Stucco or steel are acceptable materials when used in combination with other acceptable materials.*

The proposed exterior building materials include exterior stone, dark cocoa composite 8” horizontal siding, and navy board and batten. Therefore, the Application has met this standard as proposed.

3. *Specific Material Standards*
 - a. *Concrete Block. Concrete block shall not be allowed as the primary or extensive exterior finish. When used as an accent, concrete block shall be a split block, or other similarly shaped, textured, and colored materials that are found to be compatible with the building and the purpose of this section.*
 - b. *Metal. Metal shall have a matte finish or a finish proven to fade and not be reflective.*
 - c. *Glass. The use of mirrored or reflective glass is prohibited unless required for compliance with the voluntary green building program as administered by the Town’s Building Official.*

The Application includes aluminum-clad wood windows in battleship gray. The metal will have a matte finish, meeting this standard.

4. *Variety of Materials on All Building Elevations*
 - a. *There shall be a variety of quality and type of exterior materials, and their Application shall be generally in balance and proportional on all elevations of the building.*
 - b. *Materials that wrap around the building, such as a durable material at the base of the structure, shall continue around projecting outside exterior corners and end at recessed inside exterior corners.*

The Applicant is proposing a variety of exterior materials which are proposed to wrap the building corners. The Application has been reviewed for full compliance with the building material standards and has met this standard.

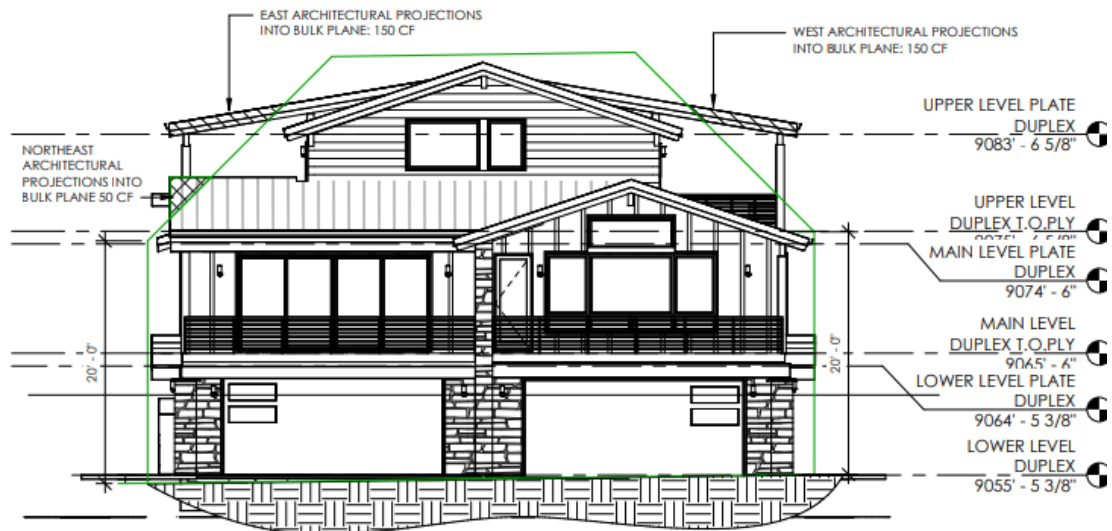
E. Building Colors

1. *Intent. To promote building colors compatible with the site and surrounding buildings.*

The primary building materials are proposed to be dark brown and navy in color. Per the Code standards, pure white or black may not be utilized as the primary building color. The Application is meeting this standard.

Bulk Standards (§180-6.23): Table 6-K of the Code outlines bulk plane requirements. Building forms may deviate from the bulk plane standards if they do not exceed the maximum building height and provide substantial architectural relief, with Planning Commission approval. The Applicant is proposing 150 cubic feet of bulk plane encroachment.

Exhibit D: Proposed Bulk Plane Encroachment on The North Elevation



2 NORTH ELEVATION BULK PLANE
SCALE: 1/8" = 1'-0"

The Application, as proposed, does not exceed the maximum building height and provides substantial architectural relief. The Application is meeting this standard.

PUBLIC COMMENT

As of July 11, 2024, the Community Development Department received one phone call about the project requesting clarification on the Application.

REFERRAL COMMENTS

Town of Frisco Public Works and Town Engineer (refer to redlined plan set dated by Engineer 7-2-24):

- Water services cannot be run as shown on the plans. The duplexes shall be serviced from the north alley, and the water connection between the duplex and SFH shall be deleted.
- Drywells shall be moved so they do not extend across property line.
- Contours/positive drainage shall be shown on the SW side of building.
- Asphalt edge of driveway to be square off at 90 degrees.

- Town code does not require paving of driveway/alley, but access lengths exceeds 150', so Summit Fire & EMS will need to weigh in on fire access requirements.
- Added a note regarding a chain link fence around the disturbance area. They are showing walls right at the disturbance limit, so I imagine that Commission may have concerns with this.
- If these townhome lots will not have a common HOA area, they will need utility easements along the west and east sides of the property.

STAFF RECOMMENDATIONS

Recommended Findings

The Community Development Department recommends the following findings pertaining to the Major Site Plan Application for the proposed new residential townhome development located at 411 Teller Street / Lots 17, 18, & 19, Block 19, Frisco Town Sub.

Based upon the review of the Staff Report dated July 18, 2024, and the evidence and testimony presented, the Planning Commission finds:

1. The proposed development Application is in general conformance with the principles and policies of the Frisco Community Plan; residential development of this lot is supported by the Frisco Community Plan Guiding Principles of Inclusive Community and Thriving Economy. The proposed development includes a building design that is unique to this Application but also reflects the architectural elements and styling of other buildings in Frisco. The location and orientation of this building create a design enhancing the overall character of the community. This Application facilitates the construction of new residential units that add variety to the sizes and types of homes in this residential neighborhood.
2. The Application is generally in conformance with the Town of Frisco Zoning Regulations, specifically Section 180-3.7, the Residential High District (RH), including lot area, lot frontage, lot coverage, setbacks, building height, and density. The Application and the recommended conditions of approval have met all the applicable standards.
3. The Application is in general conformance with the Town of Frisco Zoning Regulations, specifically Section 180-6, Development Standards, since all the applicable standards have been met by the Application and the recommended conditions of approval, including grading plan, drainage plan, snow storage and snow shedding, vehicular access, non-vehicular access, and refuse management. The Planning Commission finds that the layout of the tandem parking is functional given the layout and design of the building, adequate storage space is provided so the tandem parking does not need to be used for snow storage, the architecture of the building façade which accesses the parking spaces avoids a canyon effect and an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.

4. The Application is generally in conformance with the Town of Frisco Zoning Regulations, specifically Section 180-6.14 Landscaping, since all the applicable standards, including required vegetation, water conservation, irrigation system, and landscaping maintenance, have been met by the Application and the recommended conditions of approval.
5. The Application is generally in conformance with the Town of Frisco Zoning Regulations, specifically 180-6.16 Outdoor Lighting, since all the applicable requirements have been met by the submittal and the recommended conditions of approval, including exterior light fixtures, light emissions, design, and energy savings.
6. The Application is generally in conformance with the Town of Frisco Zoning Regulations, specifically Section 180-6.22, Residential Development Standards, since all of the applicable requirements have been met by the Application and the recommended conditions of approval, including that the Application is designed in a manner compatible with the neighborhood and the small mountain town character of Frisco; the Application includes required building elements and the other recommendations and standards of the Residential Design Standards.
7. The Application is generally in conformance with the Bulk Plane Standards since the proposed bulk plane encroachments provide architectural relief and are less than 350 cubic feet.

Recommended Action

Based upon the findings above, the Community Development Department recommends APPROVAL of the proposed Major Site Plan Application for the proposed new residential development located at 411 Teller Street / Lots 17, 18, & 19, Block 19, Frisco Town Sub, subject to the following conditions:

Conditions:

1. Prior to issuance of a Certificate of Occupancy, the Applicant shall execute a final plat to vacate the property lines between Lots 17, 18, & 19, Block 19, Frisco Town Sub, in accordance with Section 180-6.3.2 of the Frisco Unified Development Code.
2. All comments provided on the Town Engineer's redlined plan set dated 7-2-24 shall be addressed, and signed off on by the Town Engineer, prior to issuance of a building permit.
3. The Applicant or their designee shall show all required snow storage on the site plan to be in compliance with the Code prior to submittal of the building permit.
4. The Applicant or their designee shall show the location of the lighting fixtures on the site plan included with the building permit.

Should the Planning Commission choose to approve this Major Site Plan Application, the Community Development Department recommends the following motion:

With respect to File No. MAJ-23-0004, I move that the recommended findings set forth in the July 18, 2024, staff report be made and that the recommended conditions set forth therein be taken and that the Planning Commission hereby APPROVES the request for the Major Site Plan Application for the proposed new residential development located at 411 Teller Street / Lots 17, 18, & 19, Block 19, Frisco Town Sub.

ATTACHMENTS

Attachments:

Attachment A – Engineering Comments dated 7-2-24

Attachment B – Final Application Materials MAJ-23-0004

cc: Whitney Young